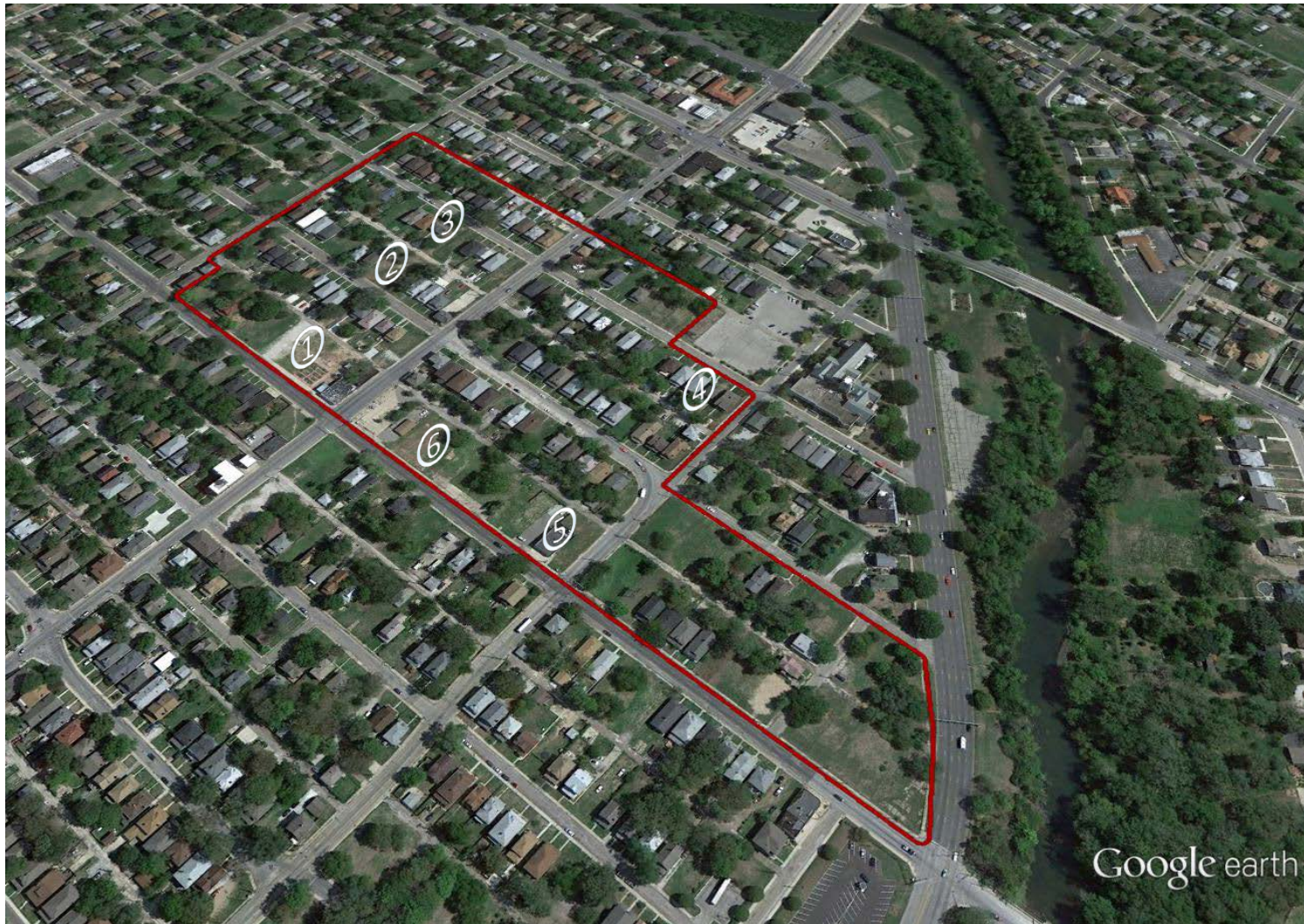


Mapleton-Fall Creek Development Corporation's LEED-ND Project Area



1

Local Food Production

LEED-ND NPD Credit 13



Before photo of Fall Creek Gardens, January 2011



Before photo of Fall Creek Gardens & UB Cafe, January 2011

Sustainable Development in MFC

Fall Creek Gardens, an Urban Growers Resource Center

Details

- neighborhood incubation
- community advisory board
- raised beds
- orchard
- stormwater catchment & cistern
- store, classroom, greenhouse, and more to come

2

Access & Connectivity

LEED-ND SLL Credit 1, NPD Credit 9 & 10



Sustainable Development in MFC

MFCDC Pocket Parks & Connectivity Trail

Details

- community outreach established need & route
- strategic acquisition & placement
- 3 new neighborhood parks
- ~2 acres; over 13 parcels
- community advisory taskforce

Indianapolis recently ranked # 47 out of 50 in terms of access to parks (Trust for Public Land, 2013)

Before photo of Ruckle Park, 2011

3

Existing Building Reuse & Affordable, Diverse Housing

LEED-ND GIB Credit 5 & NPD Credit 4



Before photo of 3028 Park Avenue



Before photo of 3028 Park Avenue

Sustainable Development in MFC

“Affordable” housing development
(40-120% AMI)

Renovation & new construction

Rental & homeownership

Details

- large, non-diverse housing stock
- demolition destroys neighborhood fabric; renovation preserves character & resources
- from 2010-2013, 45 housing units rehabbed & 4 new units built
- 28 affordable rental units in project area (MFCDC owned/managed)

4

Minimum Building Energy Efficiency LEED-ND GIB Prerequisite 2

Home Energy Rating Certificate

2020 PREXALUE
INDIANAPOLIS, IN 46205

5 Stars
Site Visit

HERS Index: 74

Uniform Energy Rating System

1 Star	2 Stars	3 Stars	4 Stars	5 Stars
1 Star Plus	2 Star Plus	3 Star Plus	4 Star Plus	5 Star Plus

Energy Efficient

1 Star	2 Star	3 Star	4 Star	5 Star
1 Star Plus	2 Star Plus	3 Star Plus	4 Star Plus	5 Star Plus

General Information

Conditioned Area: 2501 sq. ft. House Type: Single-Family detached
 Conditioned Volume: 20832 cubic ft. Foundation: Conditioned basement
 Bedrooms: 3

Mechanical Systems Features

Heating: Fuel-fired air distribution, Natural gas, 92.1 % EFF.
 Cooling: Air conditioner, Electric, 18.0 SEER.
 Water Heating: Conventional, Electric, 0.90 EFF, 90.0 Gal.
 Duct Leakage to Outside: 99.00 CFM.
 Ventilation System: None
 Programmable Thermostat: Heating: Yes Cooling: Yes

Building Shell Features

Roofing	Windows	Doors	Other
Ceiling Fan: R-38	Exposed Floor: R-31	Window Type: Low-E, u, 34, s, 35	Insulation: None
Vaulted Ceiling: N/A	Foundation Walls: R-3.1	Rate: Hq: 2630 Cq: 2630 CFM2D	Method: Blower door test
Above Grade Walls: R-14	Basement: R-10	Rate: Hq: 2630 Cq: 2630 CFM2D	Method: Blower door test
Foundation Slab: R-10	Basement: R-10	Rate: Hq: 2630 Cq: 2630 CFM2D	Method: Blower door test

Lighting and Appliance Features

Lighting	Appliances
Percent Interior Lighting: 80.00	Range/Oven Fuel: Natural gas
Percent Exterior Lighting: 0.00	Clothes Dryer Fuel: Electric
Refrigerator (Wh/yr): 577.00	Clothes Dryer EF: 3.01
Dishwasher Energy Factor: 0.68	Ceiling Fan (ch/Wh/yr): 0.00

Estimated Annual Energy Cost

Use	Site Visit	Cost	Percent
Heating	64.5	\$625	37%
Cooling	2.9	\$52	3%
Hot Water	13.2	\$236	15%
Lighting/Appliances	26.9	\$483	29%
Photovoltaics	-0.0	\$-0	-0%
Service Charges	0.04	\$34	1%
Total		\$1828	100%

Registry ID: 18020885
 Rating Number: 18020885
 Certified Energy Rater: ANDREA MERRING
 Rating Date: 02-09-2012
 Rating Ordered For: NEW HOMEOWNER

This home meets or exceeds the minimum criteria for all of the following:
 EPA ENERGY STAR Version 2 Home
 ASHRAE Standard 90.1-1992
 2006 International Energy Conservation Code
 Indiana Energy Conservation Code

THERMO-SCAN INSPECTIONS
 317-546-4655

HERS Score for 2920 Park, 74



Before photo of 2900 Block of Park Avenue

Sustainable Development in MFC

Rehabs = HERS Goal (65-75)
 New Construction = Energy Star
 Habitat for Humanity
 Partnerships = LEED-H

Details

- 3rd party rating systems
- demonstration tool

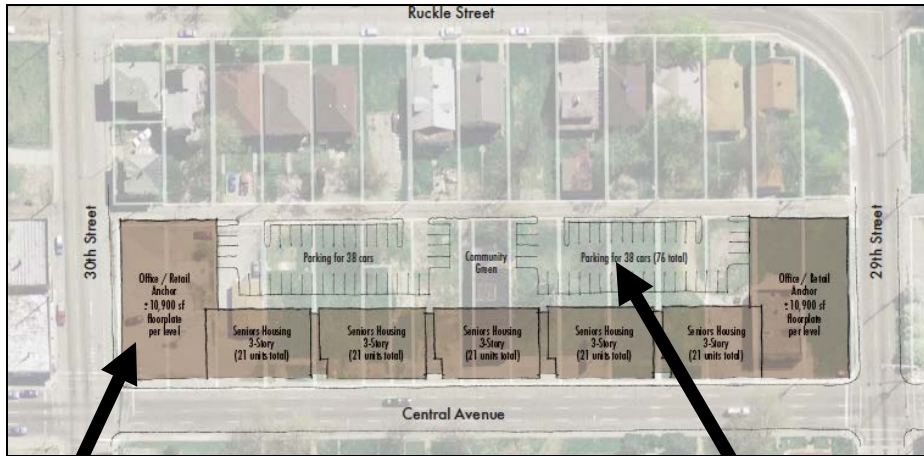
Also...

water conservation & green construction techniques, such as erosion control, heritage tree preservation

5

Brownfield Redevelopment & Compact Development

LEED-ND SLL Credit 2 & NPD Credit 2



Proposed Mix-Use Development Site Plan



7 USTs Removed (from 750 to 3,000 gal) from Former Gas Station Site



2 USTs Removed (100 & 4,000 gal) from Former Dry Cleaners Site

Sustainable Development in MFC

Economically distressed area
105 (proposed) housing units
Aging in Place

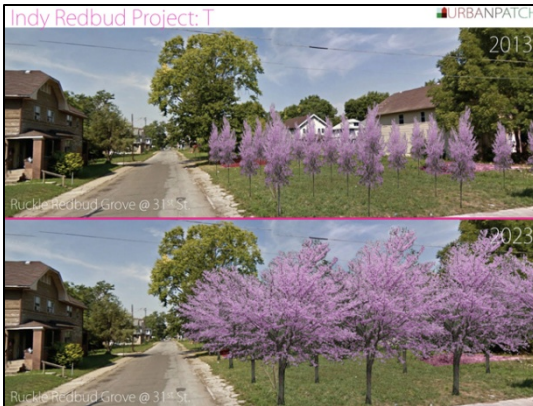
Details

- 9 USTs + toxic waste removed
- addition of housing option
- access to goods + services

6

Tree-Lined and Shaded Streets

LEED-ND NPD Credit 14



Sustainable Development in MFC

100+ new trees in 2010-2013

MFCDC goal for a street tree every 40'

Details

collaborative partnerships

Keep Indianapolis Beautiful
Urban Patch

residents & business owners

community engagement

demonstration tool

“the right tree in the right place”

